

South Coast
Home✓Check

Building Consultants.

Pre Purchase Building & Pest Reporting - Viability & Condition Reporting - Asset Management.

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PROPERTY INSPECTION REPORT

The Building Condition Inspection Report is carried out in accordance with Australian Standard AS 4349.1 - 2007 Inspection of Buildings. Part 1: Pre Purchase Inspections – Residential Buildings. This Property Inspection Report is issued subject to the scope, Exclusions and definitions of inspection and report as set out in this document.

NAME OF CLIENT:

INSPECTED PROPERTY:

DATE OF INSPECTION:

YOUR REF + REPORT No: 7226

REPORT COMMISSIONED BY: Client

Note: This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.

SUPPORT DOCUMENTATION WAS NOT SUPPLIED BY THE CLIENT AT THE TIME OF INSPECTION.

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VISUAL BUILDING INSPECTION REPORT

Client & Site Information:

1.1 COMMISSIONED

BY: Client.

1.2 YOUR CONTACT: Trevor Smith.

1.3 YOUR REF +
REPORT NUMBER: 7226.

1.4 DATE OF
INSPECTION: 27-Apr-11.

1.5 CLIENT:

1.6 PROPERTY
ADDRESS:

Important Information Regarding the Scope and Limitations of the Inspection and this Report

**This report complies with Australian Standard AS 4349.1 - 2007 Inspection of Buildings.
Part 1: Pre Purchase Inspections - Residential Buildings
If the property is not part of a Strata or Company Title - Appendix C of the Standard applies.
If the property is part of a Strata or Company Title - Appendix B of the Standard applies.**

Important Information: Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The Purpose of the Inspection: The purpose of the inspection is to provide advice to a prospective purchaser or other interested party regarding the condition of the property on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

The Scope of the Inspection: The inspection comprised a visual assessment of the property to identify major defects and to form an opinion regarding the general condition of the property at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Special Requirements: It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Inspection Agreement: It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-

2007. **The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.** Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Property Description:

1.7 Building type: A 3 bedroom, two storey "A" frame dwelling, with a freestanding single car garage + studio.

1.8 External walls constructed from: Timber frame with asbestos cement weatherboards.

This item may contain asbestos. Asbestos material should not be disturbed or damaged and should be kept well maintained and sealed to prevent exposure. Due to the nature of asbestos and the hazards to health it can pose, it should only be removed or modified by a licensed asbestos removal contractor.

1.9 Roof Construction: The roof is of pitched construction.

1.10 Roof Covering: Pressed sheet metal tiles profile.

1.11 Internal walls covered with: The interior walls are covered in the following material/s: plasterboard, asbestos cement sheet & plywood.

This item may contain asbestos. Asbestos material should not be disturbed or damaged and should be kept well maintained and sealed to prevent exposure. Due to the nature of asbestos and the hazards to health it can pose, it should only be removed or modified by a licensed asbestos removal contractor.

1.12 Internal ceilings covered with: The interior ceilings are covered in the following material/s: plasterboard, asbestos cement sheet, hardboard, styrene trim.

This item may contain asbestos. Asbestos material should not be disturbed or damaged and should be kept well maintained and sealed to prevent exposure. Due to the nature of asbestos and the hazards to health it can pose, it should only be removed or modified by a licensed asbestos removal contractor.

1.13 Windows are constructed from:

Aluminium.

1.14 Footings:

The property is constructed on concrete strip and blob footings.

1.15 Extension:

The building appears to have had an extension/addition. This may include pergolas, awnings, decks, additional living areas etc. The purchaser should contact the local council to ensure that the extension/addition has been approved and inspected as required.

1.16 Estimate**Building Age:**

Between 28 and 32 years old. This is only an estimate and must not be relied upon for the purpose of accurately determining the age of the building. Should an accurate age of the building be required, further independent investigations should be made.

Overall Condition of Property

1.17 Major Defects in this Building:

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

Typical: The frequency and/or magnitude of major defects are consistent with the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

1.18 Minor Defects in this Building:

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of minor defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

1.19 Overall Condition:

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as **below average to average**. There may be areas/elements requiring minor repairs or maintenance, along with some parts showing some significant defects and/or poor workmanship and/or long term neglect and/or defects requiring some moderate capital cost repairs or reconstruction.

Important Note: The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.

Important Note: This is only a general overview of the property and must not be relied upon on its own. You **MUST** read the report in its entirety.

The purpose of this inspection is to provide advice to the Client regarding the overall condition of the property at the time of the inspection. The inspection is a visual assessment only of the property to identify major defects and to form an opinion regarding the condition of the property at the time of inspection.

Any Summary within this Report regardless of its placement in the Report is supplied to allow a quick overview of the inspection results. These Summary items are NOT the Report and cannot be relied upon on their own. Any Summary **MUST** be read in conjunction with the entire Report and not in isolation from the Report. If there should be any discrepancy between anything in the Report and anything in a Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector **BEFORE** relying on this Report.

Summary of Areas Inspected:

1.20 Details: Internal area: External area: Subfloor area: Garage/studio.

Note: The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access, then further access must be gained. We strongly recommend that such access be gained prior to purchase to enable a more complete report to be submitted.

Should there be any areas or elements listed below which were not fully inspected due to access limitations or impairment at the time of inspection, or where recommendations for further access to be gained was made, these areas or elements should be accessed and inspected prior to a decision to purchase being made.

Summary of High Risk areas where access should be gained:

1.21 Externally: Areas restricted or impaired to inspect.
1.22 Roof void: Areas restricted or impaired to inspect.
1.23 Interior: Areas restricted or impaired to inspect.
1.24 Subfloor: Areas restricted or impaired to inspect.
1.25 Site: Areas restricted or impaired to inspect.

Furnished Properties:

1.26 Was the property furnished at the time of inspection?

No. Inspection to the upperside of flooring was concealed by carpets, rugs or other floor coverings. No inspection was made to the upperside of flooring where floor coverings were present.

Weather Conditions:

1.27 Recent Weather Conditions: Dry & wet periods.

1.28 Weather Conditions on the Day and at the Time of Inspection: Dry.

ROOF SYSTEM EXTERNAL

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase.

External Roof:

2.1 Roof Style: The roof is of pitched and skillion construction.

2.2 Roof Access Limitations: No physical access was possible to the external roof area (expressly the skillion roof above the first floor wet areas) due to the roof not being accessible from a 3.6 metre ladder placed on the ground.

2.3 Roof Covering Condition in Detail: The overall condition of the roof coverings is fair.

Several localised sections of the roof covering require some general maintenance to assist in affording an accept or level of weather tightness.

The pitch of the first floor skillion roof appears to be under 5°, whilst viewed from a distance only, the roof covering appeared to be a metal deck. The condition of this roof covering was not determine due to access restrictions. Low pitched roofs may allow wind driven rain penetration or water ponding and remedial action is required.

The rear addition metal deck roofing should be monitored to ascertain if the roof can shed water to capacity. This may be the cause of some leakage on this roof.

2.4 The following action is recommended: A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

Flashings:

2.5 Roof Flashing - Type and Condition: The roof flashings appeared to be a combination of aluminium and lead.

Flashings appear to be in a partly serviceable condition. It should be noted that flashings are only viewed from a distance in some areas and sometimes defects are very small and not clearly visible.



The potential for water entry is present to several sections of the apron and change of pitch flashings expressly to the dormer windows and rear first floor skillion roof. This should be fully investigated by a licenced roof plumber.

Lifting and ill fitted flashings.



2.6 The following action is recommended:

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

Gutters & Downpipes:

2.7 Gutters & Downpipes:

Appear to be in serviceable condition.

Water is ponding in the gutters and they require realigning.

Guttering joints are leaking and should be repaired.

Leaves and debris are present in gutters. These should be cleared.

The front entry porch roof gutter downpipe and the dormer windows roof guttering sustains notable corrosion and should be repaired or replaced as necessary.

Eaves, Fascias & Barge Boards:

2.8 Eaves Type & Condition:

The eaves are lined with asbestos cement sheeting. The overall condition of the eaves lining is fair.

2.9 Fascias & Bargeboards Type & Condition:



Wood decay damaged fascia, barges and trim

The overall condition of the fascias/bargeboards is poor to fair.

Moderate to severe wet rot decay is present to timber fascias, barge boards and associated timber trim. Maintenance or replacement is required.

The paint work is deteriorating and maintenance is required.

Several sections of the timber used on the exterior of the structure are now not deemed to be of a durability rating suitable for use in exterior environment.

It is recommended to use an external grade premium paint to assist in preventing premature failure of the said items, and be repaired when necessary with known durable (exterior) timbers.

2.10 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed. A licensed painter should be called to make a further evaluation and repairs or rectification as needed.

ROOF SYSTEM INTERNAL

Restrictions - Roof Interior:

**3.1 Cavity Present/
Not Accessible:**

A roof void is present to either side of the first floor dormer windows but is not accessible as no entry point could be located from within the inspected structure. Access should be gained to enable a further inspection to be carried out prior to purchase.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

**3.2 Access
Restrictions:**

The entire roof is of cathedral type construction where the ceilings follow the roof contour and no cavity is present for inspection.

A section of the roof is of skillion type construction and there is no accessible cavity for inspection.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

**3.3 Inspection
Restrictions:**

The general roof geometry was a partial restriction to inspection.

Defects or damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Roof Framing:

**3.4 Roof Supports -
Type and Condition:**

The cut and pitched roof timbers appear to provide adequate support from members are able to be inspected.

Insulation & Sarking:

3.5 Insulation Status: Unable to categorically determine due to access restrictions.

3.6 Sarking Status: Unable to categorically determine due to access restrictions.

Visible Leaks:

3.7 Area: Leaks from the roof were identified above the following areas: some localised sections of the rear addition along with some localised sections of the main roof (see also roof system external - flashings)

INTERIOR CONDITION REPORT

Restrictions:

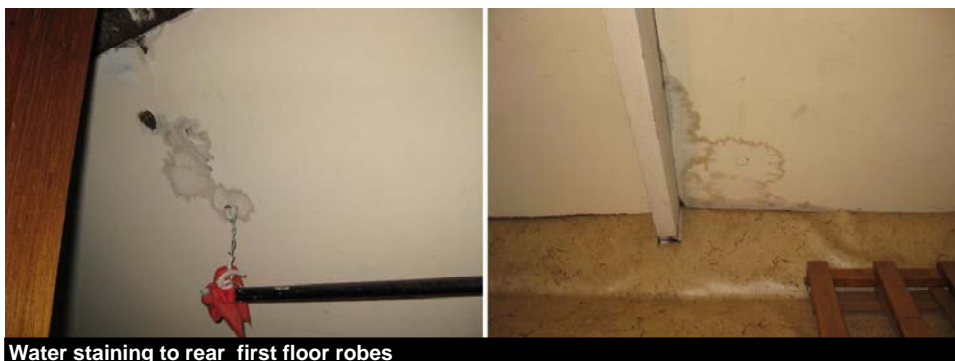
4.1 Inspection Restrictions:

Inspection to the upperside of flooring was restricted by carpets. Inspection to the interior was restricted by internal linings, cupboards/cabinets, joinery, finishes and fittings.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Ceilings:

4.2 Ceiling Condition:



Water staining to rear first floor robes

The condition of the ceilings is generally fair.

Sagging was noted to the ceiling lining. This may be the result of lack of adhesion to joists and re fixing is advised.

Evidence of water penetration from the roof was noted to the rear of the first floor bedroom robes & to the southern side ceiling of bedroom 3. See notes in Roof System External.

Evidence of what appears to be passed water leakage was noted to the rear addition ceiling.

Peeling paint was noted to some localised sections of ceiling.

Walls:

4.3 Internal Walls Condition:

The condition of the walls is generally fair.

Windows:

4.4 Windows Condition:

The condition of the windows is generally fair.

Adjustment is required to some windows to ensure smooth operation.

In the interests of safety, shatterproof film or safety glass should be installed to wet areas large glass panes within 600mm of the floor and 300mm of a doorway.

Sill height to the first floor bedroom windows is below BCA Standards of 1 metre and may be a hazard. Recommend the sill be raised or a safety rail be installed.

4.5 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

Doors:

4.6 Doors Condition: The condition of the doors is generally fair.
Some doors bind and minor adjustments are required to ensure correct operation.

4.7 The following action is recommended: A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

Floors:

4.8 Floors General Condition: The condition of the floors is generally fair. Floors are concealed by floor coverings.

Some minor undulations were noted to the finished floor levels. This appears to be due to method of construction along with some settlement. See also Footings and Subfloor.

Woodwork:

4.9 Woodwork The condition of the woodwork is generally fair.

Built-In Wardrobes

4.10 Type and Condition The condition of the built-in wardrobes is generally fair.

KITCHEN

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Kitchen:

5.1 Kitchen Fixtures: The condition of the fixtures is generally fair.
It is recommended to re-seal around the kitchen sink and to the base of the splashback with a flexible sealant, to make good for waterproofing.
Some water stains to the sink cabinet and shelving are likely caused by leaking water/waste water service pipes or inadequately sealed taps/wastes, and should be further investigated by a licensed plumber.
Adjustment is required to some door and drawers to ensure smooth operation.
Wear and tear is noted to cabinets and/or doors and some maintenance or repairs will be required.

5.2 Tiles: The condition of the tiles is generally fair.
There are several loose wall tiles. This is a direct result from the adhesive failure behind the wall tiles. Evidence of re-grouting, which can mask loose tiles has been carried out in the past. The area of wall tiles affected could not be categorically ascertained at the time of this inspection. This is a common issue in wet areas of this age, and the tiles will eventually have to be replaced.

5.3 Sink & Taps:

The sink and taps appear to be in a serviceable condition. The drain appears serviceable.

BATHROOMS

Important Notes: Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Main Bathroom:

6.1 Shower/Bath**Condition:**

The shower is located over the bathtub. The area will need to be kept well sealed to prevent water penetration to surrounding areas.

6.2 Tiles:

The condition of the tiles is generally poor to fair.

Some drummy floor tiles were noted in this area. These will require relaying if they become loose over time.

There are several loose wall tiles. This is a direct result from the adhesive failure behind the wall tiles. Evidence of re-grouting, which can mask loose tiles has been carried out in the past. The area of wall tiles affected could not be categorically ascertained at the time of this inspection. This is a common issue in wet areas of this age, and the tiles will eventually have to be replaced.

A flexible sealant should be provided to the gaps between tiled corners and tap surrounds to provide an acceptable finish and prevent water penetration.

6.3 Basin & Taps:

The basin & taps appear serviceable. Drain appears serviceable.

It is recommended to re-seal around the wall/splashback junction with a flexible sealant, to make good for waterproofing.

6.4 Vanity Unit:

The condition of the shaving cabinet unit is generally fair.

6.5 Floor/Floor**Waste:**

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

6.6 Ventilation:

An exhaust fan has not been provided to this area. A fan should be installed if possible.

LAUNDRY

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Laundry:

7.1 General condition of area:

This area is generally in fair condition.

7.2 Shower Condition:



Water staining under laundry shower

The shower recess was tested and there was no visible water penetration to surrounding areas, however some obvious water staining was noted to timber flooring abutting the laundry (viewed from subfloor). **IMPORTANT NOTE:** This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time.

The shower recess presents indications of having sustained a past leak (this may be in the form of water damage/staining to areas outside of the shower, along with a different shade of tile to the shower recess). Past repairs may have been carried out. A further investigation (by a competent person such as a licensed plumbing & waterproofing contractor) is recommended to determine the integrity of the waterproofing and water service.

A fixed shower screen should be installed.



7.3 Tub & Taps:

The tub and taps appear serviceable. Drain appears serviceable. The tub cabinet is rusting and will require treatment or replacement.

7.4 Floor/Floor Waste:

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

7.5 Tiles:

The condition of the tiles is generally **poor to fair**.

Some drummy floor tiles were noted in this area. These will require relaying if they become loose over time.

There are several loose wall tiles. This is a direct result from the adhesive failure behind the wall tiles. Evidence of re-grouting, which can mask loose tiles has been carried out in the past. The area of wall tiles affected could not be categorically ascertained at the time of this inspection. This is a common issue in wet areas of this age, and the tiles will eventually have to be replaced.

A flexible sealant should be provided to the gaps between tiled corners and tap surrounds to provide an acceptable finish and prevent water penetration.

Some past remedial patching was noted to the floor tiling.

7.6 Toilet Condition:

The toilet appears to be in working order.

7.7 The following action is recommended:

A licensed wall & floor tiler should be called to make a further evaluation and repairs or rectification as needed.

TOILETS

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Toilet:**8.1 Room Location:**

Adjacent to the bathroom.

8.2 General condition of area:

This area is generally in fair condition.

8.3 Toilet Condition:

The toilet appears to be in working order.

The toilet area is restrictive and the door swings inwards. In case of an emergency, the door cannot be readily removed from the outside. Recommend that lift off hinges be installed to the door to comply with the current BCA standards.

8.4 Basin & Taps:

The basin & hot tap appear serviceable. **The cold tap is seized and requires repair.** Drain appears serviceable.

8.5 Tiles:

The condition of the tiles is generally fair.

8.6 Floor/Floor Waste:

The floor waste point was not able to be tested during this visual inspection. Defects or blockages may be present and not detected.

STAIRS INTERNAL

Stairs Internal:

9.1 Type & Condition:

The stairs are constructed primarily from timber. The overall condition of the stairs is fair.

The handrails and balustrades do not appear to comply with the current BCA Standards for height and spacing. Although this report does not generally comment on items of compliance, this issue may become a safety issue and therefore was included in this report. Recommend you further investigate this matter and upgrade if necessary.



9.2 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

EXTERIOR

Restrictions

10.1 Description

Inspection to sections of the exterior was restricted due to the growth of foliage. Foliage must be removed to enable a more complete report to be submitted. The finished ground height, downpipes, service pipes/conduits, concrete pathways/driveways. There is insufficient crawl space below the rear addition due to the method of construction.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

External Walls:

10.2 General Condition:

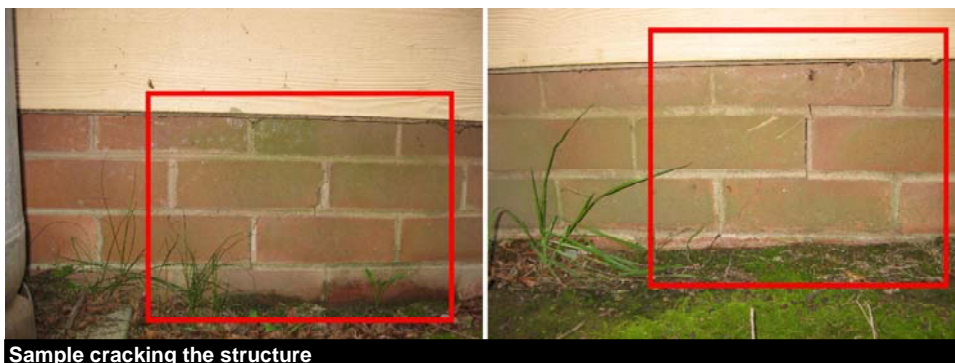
The condition of the walls is generally fair.

Several sections of the exterior timber trim sustained moderate to severe levels are damaged by wood fungal decay. Repair and maintenance is required.

Several sections of the timber used on the exterior of the structure are now not deemed to be of a durability rating suitable for use in exterior environment.

It is recommended to use an external grade premium paint to assist in preventing premature failure of the said items, and be repaired when necessary with known durable (exterior) timbers.

10.3 Cracking to Masonry or Concrete Elements:



Sample cracking the structure

Varying degrees of cracking and movement are evident to all sides of the brick foundation walls. Visible cracking has been categorized as a structural defect. Cracking of a building element is a structural defect where in the opinion of the inspector the structural performance of the building element is impaired, or where the cracking is the result of the structural behavior of the building. The expected consequence of this cracking is unknown until further information is obtained.

This must be referred to a Structural Engineer to investigate.

Weep Holes and Vents:

10.4 Vents:

Some external vent holes are covered or concealed. Vent holes are the openings to the base of the brickwork that allow air circulation and ventilation to the sub floor. Any covered vent holes may also compromise pest management and provide undetected pest entry to the structure. Furthermore, restricted air circulation may also provide conditions conducive to pest infestation. Where possible, vent holes should be uncovered.

External Stairs:

10.5 Type & Condition:

The stairs are constructed primarily from bricks and concrete. The overall condition of the stairs is fair. Due to the method of construction or other obstructions there was no access or limited access under the stairs. No comment is made regarding any concealed damage or defect where access was limited or prevented. Complete access should be gained.

DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS

Front Verandah Porch:

11.1 Position/ Location:

Front elevation.

11.2 Construction & Condition:

Constructed from concrete, masonry and timber.

11.3 Roof Construction:

The roof is of skillion construction.

11.4 Defects or Maintenance Items:

The roof support post have been enveloped by the concrete porch deck. This situation can allow concealed termite entry and wood fungal decay, and we recommend that modifications be made.

No access was possible below the structure due to the method of construction.

Moderate wood decay is present to the structure. Some repairs or maintenance will be required.

SUBFLOOR

Restrictions:

12.1 Restrictions/ description:

Crawl space below the rear addition was limited due to the method of construction resulting in a limited visual inspection from a distance being carried out.

No inspection was carried out to brick cavities, or other areas deemed inaccessible due to lack of reasonable access.

Exterior porches/steps abutting the house were not inspected under, due to method of construction.



Debris within subfloor

Saturated soil and ponding water prevented full body access being gained below the eastern quarter of the subfloor.

Debris timber and general rubbish were abundant throughout the subfloor.

The first floor subfloor was not inspected to areas obstructed by the ground floor ceiling lining and method of construction, due to restricted access.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.



Debris within subfloor + damp soil



Damp soil and restriction to rear addition



Damp soil and debris within subfloor

Ventilation:

12.2 Description:

The underfloor ventilation appeared to be inadequate. This may provide conditions that could encourage decay of timber components. Upgrading of the ventilation is required. If necessary, contact a Licensed Builder for advise and rectification.

Attention

Promote
Subfloor
Ventilation

Sub Floor - Other Defects or Issues:

12.3 Details:



Rust to base of addition support posts

Antcap within some sections of the subfloor is deemed to be inadequate due to either being inadequately sealed, insufficient turn-down and/or missing. This is very conducive to undetected entry by subterranean termites and will require inspections at regular intervals not exceeding 6 to 12 months.

It is common and best building practice to install a chemical and/or physical barrier against entry by subterranean termites between control joints/joins in the concrete floors, and dissimilar floor types (timber abutting concrete). Adequate protection could not be categorically assessed. This condition is an obstruction to inspection. This method of construction can lead to undetected entry by subterranean termites, and should be inspected at regular intervals (not exceeding 6 to 12 months).

The subfloor soil sustains evidence of silt trails (indications of water tracking across soil). This pattern of dampness is associated with inadequate drainage. Elevated moisture levels will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by

subterranean termites and wood fungal decay. A further investigation (by a competent person such as a licensed plumbing contractor) is recommended to determine the method and extent of any remedial drainage work required, and associated costs.

Some sections of the exterior finished ground height appear to be higher than the finished height of the subfloor soil/surface. This will allow for surface water to freely flow into the subfloor and create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay, and may influence footings/foundation over time. A further investigation (by a competent person such as a licensed building or plumbing contractor) is recommended to determine the method and extent of any remedial work required, and associated costs.

The back-filling and levelling of subfloor excavations (spoil) carried out during construction within the subfloor area was never carried out. This may allow water to pool and pond to several areas of the subfloor and will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay, and may influence footings/foundation over time.

Steel floor supports are located to the sub floor of the rear addition. These supports have been enveloped within the concrete footing. These support sustained moderate to severe levels are damaged by corrosion due to the inherent damp condition within the subfloor area. These posts will need to be replaced with a durable support.

We recommend the removal of timber partitions/lattice panels between open foundation piers/walls as timbers such as these in contact with soil are highly attractive to termite attack.

Asbestos or similar loose material appears to be present to the subfloor area. Although we are not qualified in the detection of asbestos material, the material found may contain asbestos. Asbestos material should be removed by a suitably qualified removal contractor.

The laundry shower recess may sustain a leak. Please refer to the Bathroom section of the report for further information.

12.4 The following action is recommended:

A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

FOOTINGS

Footings:

13.1 Type & General Condition:

The property is constructed on concrete strip and blob footings.

There appears to have been some settlement in the building which has caused some cracking to the walls. This can also cause some doors to bind or be out of square. This settlement is usually due to ground movement and subsequent movement to building materials can be expected. Periodic maintenance will be required. Any cracks should be monitored and if cracks increase in size, further investigation should be carried out by a Structural Engineer.

See also Exterior Walls re: cracking/movement to brick foundation walls.

GARAGING

Garage + Studio:

14.1 Garage

Location:

Freestanding to the rear right of the lot.

14.2 Restrictions to inspection



Restrictions to inspection

Stored items and shelving partly restricted inspection to the interior. Stored items should be removed to enable a more complete report to be submitted.

Debris material above the studio was a restriction to inspection.

Wall linings within the interior were a restriction to inspection.

The exterior finished ground height to the perimeter of the garage was a partial restriction to inspection.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

14.3 General Overall Condition:

The overall condition of the garage is fair.

14.4 Roof Construction:

The roof is of pitched style construction.

14.5 Roof Covering:

Corrugated steel.

14.6 Roof Covering Condition in Detail:

The overall condition of the roof coverings is fair.

14.7 External walls constructed from:

Timber frame with asbestos cement sheeting.

This item may contain asbestos. Asbestos material should not be disturbed or damaged and should be kept well maintained and sealed to prevent exposure. Due to the nature of asbestos and the hazards to health it can pose, it should only be removed or modified by a licensed asbestos removal contractor.

14.8 External Wall General Condition:

The condition of the walls is generally fair.

- The external wall timbers show signs of age and weathering. Maintenance and/or repairs will be required.
- Paint deterioration was present to external surfaces. Maintenance and/or repairs will be required.
- The base of some walls are below the external soil/concrete levels and may be subject to lateral dampness or water entry. Recommend soil levels be lowered or the area be closely monitored for water entry/penetration.
- The ground levels are close to or covering some of the damp proof course (DPC) material and should be lowered appropriately. Ideally, the height of a DPC should be not less than 150mm above the adjacent ground level; 75mm above the finished surface level of adjacent paved, concrete or landscaped areas that slope away from the base of the walls; 50mm above finished paved, concrete or landscaped areas that are protected from the direct effects of the weather by items such as carports, verandah, balcony etc.
- External timbers are in contact with or very close to soil areas. This is conducive to timber pest attack or timber deterioration and we recommend modifications be made so that timber to soil contact does not occur.

14.9 Front Doors - Type & Condition

The main garage door is a roller shutter style door and is in fair condition.

14.10 Ceiling Condition:

The condition of the studio ceilings is generally fair.

There is no ceiling lining present to the garage.

14.11 Internal Walls Condition:

The condition of the walls is generally fair.

14.12 Footing Type & Condition:

The building is constructed on a concrete raft slab. Concrete raft slab edge exposure was concealed to inspect by the finished ground height to some or all sections of the slab edge. *This was also an obstruction to visual inspection.* The raft slab edge should have a minimum of unobstructed exposure of 75mm (as per AS3660.1 & 2) from the finished ground height to the base of the exterior cladding, *of which should be applied in the absence of an approved termite barrier.* This condition is conducive to undetected entry and attack by subterranean termites to the building timber members. These areas should also be inspected at regular intervals not exceeding 6 to 12 months.

14.13 Floor - Type & General Condition

The concrete floor is generally in fair condition.

14.14 Gutters & Downpipes:

Gutters are rusted and should be repaired or replaced as necessary.

The downpipes do not appear to be connected to a stormwater dispersal system. This should be rectified.

14.15 Eaves Type & Condition:

The eaves are lined with asbestos cement sheeting. The overall condition of the eaves lining is fair.

14.16 Fascias & Bargeboards Type & Condition:

The overall condition of the fascias/bargeboards is fair. Minor wet rot decay is present to timber fascias and barge boards. The paint work is deteriorating and maintenance is required.

14.17 External Windows Condition:

The condition of the exterior of the windows is generally fair.

14.18 Wood Decay:

Wood decay to bottom wall plate

Moderate to severe wood decay damage was noted to the southern side bottom wall plates. Repairs may be required.

14.19 The following action is recommended:

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

SITE

Driveway:

15.1 Type & Condition:

The concrete driveway stands in fair condition. The concrete driveway has some visible cracking that should be monitored for further movement.

Fences & Gates:

15.2 Fences Type & Condition:

The lot is fenced on, three sides. The fences are mainly constructed from timber. **The fences are generally in poor to fair condition and repairs or replacement is required.** Several fencing panels sustain leans to varying degrees. It is recommended to re-plumb the affected sections.



Leans to fencing

15.3 Wood Decay:

Moderate to severe wood decay damage was noted to widespread sections of the boundary fencing.

15.4 The following action is recommended:

A licensed fencer should be called to make a further evaluation and repairs or rectification as needed.

Paths/Paved Areas:

15.5 Type & Condition:

The concrete paths/paved areas are in fair condition. The concrete paths/paved areas have some visible cracking that should be monitored for further movement.

The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

SERVICES

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Services:

- 16.1 Details:** Smoke detectors are fitted however, the positioning, operation or adequacy was not tested and is not commented on.
- Bottled gas is connected to the premises but has not been inspected.
- Air-conditioning is installed in the premises but has not been inspected.
- The laundry light switch requires repair by a licenced electrician.**

Water Lines & Pressure:

- 16.2 Details:** The visible water lines are in copper pipe.

Waste Water Lines:

- 16.3 Details:** **Most waste water pipes below ground height are of earthenware, and susceptible to damage and blockage by vegetation (tree roots). The remainder were of P.V.C (plastic).**

Hot Water Service:

- 16.4 Hot water is provided by the following:**

Heater capacity: 250L. It is a mains electric hot water system and is off-peak. The heater is under mains pressure. It is located externally. **Rust is present around the pipe fittings. This should be checked by a licensed plumber. There does not appear to be a temperature control valve fitted to the water heater. A burn/scald injury is possible. It is recommended that a temperature control valve be fitted by a Licensed water heating specialist. Corrosion is present to the base of the heater case/chassis.**

- 16.5 Age of Unit:** The unit was manufactured in 1992.

Important Information

Important Information:

- 17.0** The following forms an integral part of the report and **MUST** be read in conjunction with the entire report.

General Definitions used in this report:

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

Good - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

Fair - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

Poor - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall

Condition of the Building:

Above Average - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Appearance Defect - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Accessible Area - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

General and Important Information:

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Shower Recesses: Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

Glass Caution: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Stairs & Balustrades: Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

Rooms below ground level: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainer.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.

Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a Special-Purpose Property Report.)**

4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

5) **ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

6) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer: Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

7) Estimating Disclaimer: Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

8) Cracking of Building Elements: The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

Appearance Defect: Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect: Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

9) CONDITIONS :- This standard property report is conditional upon or conditional in relation to -

- ~ the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- ~ information provided by the person, the employees or agents of the person requesting the report;
- ~ the specific areas of expertise of the consultant specified in the report;
- ~ apparent concealment of possible defects; or
- ~ any other factor limiting the preparation of the report.

10) If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:

a) Obtain a statement from the owner as to

- i. any Timber Pest activity or damage;
- ii. timber repairs or other repairs
- iii. alterations or other problems to the property known to them
- iv. any other work carried out to the property including Timber Pest treatments
- v. obtain copies of any paperwork issued and the details of all work carried out

b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.

11) The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007

12) You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such

concealed defects

13) Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.

14) The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause.

However, We may sell the Report to any other Person although there is no obligation for Us to do so.

15) You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

..... End Of Report

South Coast

Home✓Check

Home Building Consultants.
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VISUAL TIMBER PEST INSPECTION REPORT

In accordance with Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports.

This Visual Timber Pest Detection Report is issued subject to the Scope, Limitations, Exclusions and Definitions of Inspection and Report set out in this document.

NAME OF CLIENT:

ADDRESS OF INSPECTED PROPERTY:

DATE OF INSPECTION:

YOUR REF + REPORT No: 7226

REPORT COMMISSIONED BY: Client

Note: This report should not be relied upon if a contract for sale becomes binding more than 30 days after the date of initial inspection. A re-inspection after this time is essential.

SUPPORT DOCUMENTATION WAS NOT SUPPLIED BY THE CLIENT AT THE TIME OF INSPECTION.

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VISUAL TIMBER PEST INSPECTION REPORT

CLIENT & SITE INFORMATION:

1.1 COMMISSIONED

BY: Client.

1.2 YOUR CONTACT: Trevor Smith.

1.3 YOUR REF +
REPORT NUMBER: 7226.

1.4 DATE OF
INSPECTION:

1.5 CLIENT:

1.6 PROPERTY
ADDRESS:

1.7 INSPECTED BY: Trevor Smith.

TERMS AND CONDITIONS

THIS IS A VISUAL INSPECTION ONLY in accord with the requirements of AS4349.3-2010 - Inspection of buildings Part 3: Timber Pest Inspections.

This visual inspection was limited to those areas and sections of the property to which reasonable access (**See Definitions**) was available and permitted on the date and at the time of the Inspection. Inspection has been made in the areas where infestation is most likely to occur. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The Inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests or damage which may only be revealed when the items are moved or removed. Inspection of fence lines and posts is restricted to those timbers above ground level and facing the property inspected. The inspection does not extend nor should comments be inferred in respect to timbers, palings, fence posts below ground level, or where timbers are obstructed by plant life or overgrowth or other materials which restrict or prevent physical bodily access. No inspection is inferred to areas of trees or external areas over 3.6 metres above the natural ground level.

LIMITATIONS

Nothing contained in the Report implies that any inaccessible or partly inaccessible area(s) or section(s) of the property being inspected by the Inspector on the date of the inspection were not, or have not been, infested by Timber Pests. Accordingly, this Report is NOT A GUARANTEE that an infestation and /or damage does not exist in any inaccessible or partly inaccessible area(s) or section(s) of the property, nor is it a guarantee that a future infestation of Timber Pests will not occur or be found. Australian Standard Termite Management Part 2: In and around existing buildings and structures (AS 3660.2-2000) recommends that properties should be inspected at least every twelve (12) months but more frequent inspections are strongly recommended.

SCOPE OF REPORT

This report is confined to the reporting on the discovery, or non discovery, as the case may be, of infestation and/or damage caused by subterranean termites (white ants), borers of dry seasoned timber and wood decay fungi (hereinafter referred to as "Timber Pests"), by visual inspection of those areas and sections of the property accessible to the Inspector at the time and on the date of inspection. The inspection did not cover any other pests and this Report does not comment on them. Dry wood termites ("Family: KALOTERMITIDAE") were excluded from the inspection, but have been reported on if, in the course of the inspection, any visible evidence of infestation happened to be found. No liability shall be accepted on account of failure of the within Report to notify of any Timber Pest activity and/or damage present at or prior to the date of the within Report in any area(s) or section(s) of the subject property physically inaccessible for inspection or to which access for inspection is denied by or to the Inspector (including but not limited to) any area(s) or section(s) so specified by the within Report. This report does not and cannot state the extent of any damage. It is NOT a structural damage report. Any mention within this report relating to extent of any damage has been done with the sole intent of assisting with determining possible treatment specifications or options and must not be used by any party as a guide to the extent of damage for the purpose of

estimating repairs or replacement costs. If any past or present infestation or damage is noted in this Report, whether this damage is to the structure or the surrounding grounds, it is strongly recommended that a qualified person such as a Builder, Engineer, Architect or other qualified expert in the Building Trade be asked to determine the extent of damage to the property **and an invasive inspection must be carried out to determine any concealed timber pest damage or activity**. Where such evidence of timber pest activity or damage is reported, then it must be assumed there may be some hidden timber damage and/or structural damage and this should be further investigated.

IMPORTANT INFORMATION

Any person who relies upon the contents of this Report does so acknowledging that the above clauses define the Scope and Limitations of the inspection and form an integral part of the report. The Report is made solely for the use and benefit of the Client named on the front of this Report and no liability or responsibility whatsoever, in contract or in tort, is accepted to any third party who may rely on this Report wholly or in part. Any third parties acting or relying on this report do so at their own risk.

BRIEF SUMMARY

IMPORTANT DISCLAIMER

This Brief Summary is supplied to allow a quick and superficial overview of the inspection results. This summary is **NOT** the Report and **cannot be relied upon on its own**.

This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Summary and anything in the Report then the information in the Report shall override that of this Summary.

For complete and accurate information, please refer to the following report.

ACCESS

2.1 Any area(s) to which access should be gained:

Other than some normally inaccessible areas due to construction methods, along with areas outlined within this inspection report, normal access was gained. Please read the report. You should arrange access to an area or areas of the property and arrange another inspection. Please read the report. See details under heading - interior, external areas, subfloor, garaging.

Recent Weather Conditions: Dry & wet periods.

Weather Conditions on the Day and at the Time of Inspection: Dry, however it had rained within the last 48 hours.

TIMBER PEST ACTIVITY OR DAMAGE

2.2 Active termites found:

At the time of the inspection no visible evidence of termite activity (live termites) was found in the areas able to be inspected. Please read the report.

2.3 Damage caused by termites found:

At the time of inspection no visible evidence of termite damage was found in the areas able to be inspected. Please read the report.

2.4 Damage caused by borers found:

At the time of the inspection no visible evidence of borer activity or damage was found in the areas able to be inspected. Please read the report.

2.5 Damage caused by wood decay found:

Evidence of damage resulting from wood decay fungi (wood rot) was found. Please read the report.

DESCRIPTION OF STRUCTURE(S) INSPECTED

2.6 The property inspected is a

A 3 bedroom, two storey "A" frame dwelling, with a freestanding single car garage + studio.

ROOF

Inspection within any accessible roof cavity will normally be limited by a number of factors including the method of construction, low pitched or inaccessible sections, insulating materials, ducting and in some instances, stored items.

Evidence of active timber pests

3.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

Restrictions to Access

3.2 Cavity present/ not accessible

A roof void is present to either side of the first floor dormer windows but is not accessible as no entry point could be located from within the inspected structure. Access should be gained to enable a further inspection to be carried out prior to purchase.

3.3 Access Restrictions

The entire roof is of cathedral type construction where the ceilings follow the roof contour and no cavity is present for inspection.

A section of the roof is of skillion type construction and there is no accessible cavity for inspection.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Restrictions to Inspection

3.4 Inspection Restrictions

The general roof geometry was a partial restriction to inspection.

Defects or damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

INTERIOR

Evidence of active timber pests

4.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

Restrictions:

4.2 Inspection Restrictions

Inspection to the upperside of flooring was restricted by carpets. Inspection to the interior was restricted by internal linings, cupboards/cabinets, joinery, finishes and fittings. Access fully under the interior stairway was obstructed by linings.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Conducive conditions

4.3 Description:

Leaking showers/wet areas can provide a free source of moisture for termites and leaking showers will need to be repaired. The following areas may sustain leaks: laundry.

SUBFLOOR - SUBSTRUCTURE

Evidence of active timber pests

5.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

Wood decay damage found

5.2 Comment:

Although no obvious evidence of notable wood fungal decay was identified, it should be noted that conditions within the subfloor extremely conducive to wood fungal decay of subfloor framing timbers and flooring. It should be noted that there may be some areas that have sustained notable damage by wood fungal decay but were not obvious at the time of inspection, due to access restrictions and scope of inspection.

See also Ventilation.

Restrictions

5.3 Restrictions/description

Crawl space below the rear addition was limited due to the method of construction resulting in a limited visual inspection from a distance being carried out.

No inspection was carried out to brick cavities, or other areas deemed inaccessible due to lack of reasonable access.

Exterior porches/steps abutting the house were not inspected under, due to method of construction.

Saturated soil and ponding water prevented full body access being gained below the eastern quarter of the subfloor.

Debris timber and general rubbish were abundant throughout the subfloor.

The first floor subfloor was not inspected to areas obstructed by the ground floor ceiling lining and method of construction, due to restricted access.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Slab areas

5.4 Slab areas

Some sections of the property are constructed on a concrete slab below which there is no subfloor for inspection (front porch slab). See important information in Section 4.0 Concrete Slab Homes (Part or Full Slab).

Conducive conditions

5.5 Description

Antcap within some sections of the subfloor is deemed to be inadequate due to either being inadequately sealed, insufficient turn-down and/or missing. This is very conducive to undetected entry by subterranean termites and will require inspections at regular intervals not exceeding 6 to 12 months.

It is common and best building practice to install a chemical and/or physical barrier against entry by subterranean termites between control joints/joins in the concrete floors, and dissimilar floor types (timber abutting concrete). Adequate protection could not be categorically assessed. This condition is an obstruction to inspection. This method of construction can lead to undetected entry by subterranean termites, and should be inspected at regular intervals (not exceeding 6 to 12 months).

The subfloor soil sustains evidence of silt trails (indications of water tracking across soil). This pattern of dampness is associated with inadequate drainage. Elevated moisture levels will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay. A further investigation (by a competent person such as a licensed plumbing contractor) is recommended to determine the method and extent of any remedial drainage work required, and associated costs.

Some sections of the exterior finished ground height appear to be higher than the finished height of the subfloor soil/surface. This will allow for surface water to freely flow into the subfloor and create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay, and may influence footings/foundation over time. A further investigation (by a competent person such as a licensed building or plumbing contractor) is recommended to determine the method and extent of any remedial work required, and associated costs.

The back-filling and levelling of subfloor excavations (spoil) carried out during construction within the subfloor area was never carried out. This may allow water to pool and pond to several areas of the subfloor and will create a damp problem in the surrounding areas, allowing for conditions that are favourable to habitation by subterranean termites and wood fungal decay, and may influence footings/foundation over time.

Steel floor supports are located to the sub floor of the rear addition. These supports have been enveloped within the concrete footing. These support sustained moderate to severe levels are damaged by corrosion due to the inherent damp condition within the subfloor area. These posts will need to be replaced with a durable support.

We recommend the removal of timber partitions/lattice panels between open foundation piers/walls as timbers such as these in contact with soil are highly attractive to termite attack.

Asbestos or similar loose material appears to be present to the subfloor area. Although we are not qualified in the detection of asbestos material, the material found may contain asbestos. Asbestos material should be removed by a suitably qualified removal contractor.

The laundry shower recess may sustain a leak. Please refer to the Bathroom section of the Building Report for further information.

VENTILATION

Subfloor Ventilation

6.1 Description

Underfloor ventilation is inadequate. Active decay fungi is present on the underfloor timbers and the immediate improvement in ventilation is required. We recommend the installation of new bronze mesh high airflow vents to improve the currently inadequate underfloor ventilation.

Sapstain fungi is present to some subfloor timbers. This form of fungi does not necessarily cause timber damage however, it is an indicator that the moisture content is high and we recommend works be carried out to mitigate dampness and increase ventilation.

EXTERNAL TIMBERS

Evidence of active timber pests

7.1 Details

No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.

Wood fungal decay was noted to accessible areas at the time of inspection.

Wood decay damage found

7.2 Description

Yes - Wood decay damage was noted to the following timbers/areas.

7.3 Affected external timbers

Timber fascias, barge boards and associated timber trim.

To the base of the front verandah roof support post.

To several sections of the exterior walls timber trim.

7.4 Severity

Visible timber damage appears moderate to severe. A further investigation (by a competent person such as a licensed building/carpentry contractor) is recommended to determine the method and extent of any remedial work required, and associated costs. Refer to the definitions section of this report - Section 1.6 - Timber Damage.

Several sections of the timber used on the exterior of the structure are now not deemed to be of a durability rating suitable for use in exterior environment.

It is recommended to use an external grade premium paint to assist in preventing premature failure of the said items, and be repaired when necessary with known durable (exterior) timbers.

Restrictions

7.5 Description

Inspection to sections of the exterior was restricted due to the growth of foliage. Foliage must be removed to enable a more complete report to be submitted. The finished ground height, downpipes, service pipes/conduits, concrete pathways/driveways. There is insufficient crawl space below the rear addition due to the method of construction.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Conductive Conditions

7.6 Description

- **Some taps discharge water directly adjacent to the foundation area. Moist conditions such as this are highly conducive to termite attack. This situation should be rectified.**
- **Garden beds and vegetation are in direct contact with the house exterior. This was an obstruction to visual inspection and is conducive to bridging undetected entry by subterranean termites to the dwelling and the said garden beds/vegetation should be removed/lowered.**
- **Water is ponding on the soil adjacent to the building structure. This may be due to a drainage problem or some other factor. This should be rectified as moist soil conditions are highly conducive to timber pest attack.**
- **The hot water system overflow is discharging moisture adjacent to the structure. We recommend the overflow be situated over a drain.**
- **Trees and stumps on some surrounding lots, are typical of those chosen by termites for the establishment of colonies, and are within a 50 metre radius of the inspected dwelling. This reinforces the need for regular careful inspection. It is recommended to remove any existing stumps and do a core temperature test to suspect trees on the property to ascertain if an infestation is present.**
- **Where exterior porches, steps, ramps etc abut the house directly and bridge termite barriers the risk of undetected entry is high, and modification of the element/s will need to take place. This condition existed with the inspected property and should be monitored/rectified.**
- **Where the base of the exterior wall cladding has been covered or exceeded by porches, verandahs etc., the risk of undetected entry by subterranean termites is very high. It is recommended that suitable clearance (as per AS3660.1 &.2) be afforded, to assist in the visual detection of entry by subterranean termites - in the absence of an identified physical/chemical barrier system. This condition existed with the inspected property and will need to be rectified.**
- **Some external vent holes are covered or concealed. Vent holes are the openings to the base of the brickwork that allow air circulation and ventilation to the sub floor. Any covered vent holes may also compromise pest management and provide undetected pest entry to the structure. Furthermore, restricted air circulation may also provide conditions conducive to pest infestation. Where possible, vent holes should uncovered.**
- **Some side fencing is in direct contact with the building exterior. This was an obstruction to visual inspection and is conducive to bridging undetected entry by subterranean termites to the dwelling and the said members should be modified to allow sufficient access for a visual inspection, and ideally not be in contact with the building.**

FENCES

Evidence of active timber pests

- 8.1 Details** No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.
- Wood fungal decay was noted to accessible areas at the time of inspection.

Wood decay damage found

- 8.2 Description** Yes - Wood decay damage was noted to the following timbers/areas.
- 8.3 Affected fence timbers** Widespread areas of the timber fencing.
- 8.4 Severity** Visible timber damage appears moderate to severe. A further investigation (by a competent person such as a licensed building/carpentry contractor) is recommended to determine the method and extent of any remedial work required, and associated costs. Refer to the definitions section of this report - Section 1.6 - Timber Damage.

Restrictions

- 8.5 Description** Inspection to the following fencing timbers was restricted in part by foliage and/or the finished ground height; ~ various sections of the timber fencing.

GARAGE/S

Description of garaging

- 9.1 Describe garaging** A freestanding single car garage with studio.

Evidence of active timber pests

- 9.2 Details** No visible evidence of active subterranean termites or Anobium borers to accessible areas at the time of inspection.
- Wood fungal decay was noted to accessible areas at the time of inspection.

Wood decay damage found

- 9.3 Description** Yes - Wood decay damage was noted to the following timbers/areas.
- 9.4 Affected garage timbers** Some sections of the exterior timber trim, fascia and bargeboards (minor to moderate).
- To the southern side bottom wall plates (moderate to severe).
- 9.5 Severity** Visible timber damage appears moderate to minor to severe. A further investigation (by a competent person such as a licensed building/carpentry contractor) is recommended to determine the method and extent of any remedial work required, and associated costs. Refer to the definitions section of this report - Section 1.6 - Timber Damage.
- Some timbers used on the exterior of the structure are not now deemed to be suitable for exterior use. It is recommended to use an external grade premium paint to assist in preventing premature failure of the external timber elements, and be repaired when necessary with known durable (exterior) timbers.*

Restrictions

9.6 Description

Stored items and shelving partly restricted inspection to the interior. Stored items should be removed to enable a more complete report to be submitted.

Debris material above the studio was a restriction to inspection.

Wall linings within the interior were a restriction to inspection.

The exterior finished ground height to the perimeter of the garage was a partial restriction to inspection.

Defects or timber pest damage may be present and not detected in areas where inspection was limited, obstructed or access was not gained.

Conducive Conditions

9.7 Description

- The base of some walls are below the external soil/concrete levels and may be subject to lateral dampness or water entry. Recommend soil levels be lowered or the area be closely monitored for water entry/penetration.
- The ground levels are close to or covering some of the damp proof course (DPC) material and should be lowered appropriately. Ideally, the height of a DPC should be not less than 150mm above the adjacent ground level; 75mm above the finished surface level of adjacent paved, concrete or landscaped areas that slope away from the base of the walls; 50mm above finished paved, concrete or landscaped areas that are protected from the direct effects of the weather by items such as carports, verandah, balcony etc.
- External timbers are in contact with or very close to soil areas. This is conducive to timber pest attack or timber deterioration and we recommend modifications be made so that timber to soil contact does not occur.
- The building is constructed on a concrete raft slab. Concrete raft slab edge exposure was concealed to inspect by the finished ground height to some or all sections of the slab edge. *This was also an obstruction to visual inspection.* The raft slab edge should have a minimum of unobstructed exposure of 75mm (as per AS3660.1 & 2) from the finished ground height to the base of the exterior cladding, *of which should be applied in the absence of an approved termite barrier.* This condition is conducive to undetected entry and attack by subterranean termites to the building timber members. These areas should also be inspected at regular intervals not exceeding 6 to 12 months.

OUTBUILDING/S

Description of Outbuildings

10.1 List of outbuildings

No outbuildings were present.

EVIDENCE OF TREATMENT

It is not always easy to determine if a property has been treated for subterranean termites particularly if such a treatment was carried out during construction or the evidence of a treatment has been concealed. Treatments may consist of physical or chemical barriers or a combination of both. This summary of treatment evidence is in no way conclusive. Where no visible evidence of treatment was found, it does not necessarily mean that the property was not or has not been treated. Some signs of treatment are not readily visible during an inspection. Where any evidence of a termite treatment was noted, and the treatment was not carried out by this firm, we can give no assurances with regard to the work performed or other work carried out as a result of timber pest attack. Further enquires should be made and any documentation obtained to verify work carried out.

Evidence of termite treatment to the property

11.1 Description There was no visible evidence of previous termite treatment.

11.2 Treatment Recommendations **It is recommended to source a treatment proposal from a licensed pest controller to assist in mitigating the risk of termite attack to the dwelling by the use and installation of chemical and non-chemical barriers, due to the degree of risk as outlined within this report.**

SUMMARY IN DETAIL

IMPORTANT NOTE:

12.0 This summary must be read in conjunction with the entire report. Some comments and recommendations may be contained in the body of the report and not in the summary. The information contained in the terms and conditions, the body of the report, the summary and general information form the complete report.

12.1 SUMMARY Inspection revealed no evidence of active timber pest infestation to visible areas and visible timbers at this time, apart from wood fungal decay. It is possible that timber pest damage or activity may exist in concealed timbers or areas and no comment is made in respect to these concealed timbers or areas. All properties are considered at risk of attack by termites. The risk can be reduced if the property is treated in compliance with Australian Standard 3660. The property should be inspected on a regular basis at intervals not exceeding 12 monthly or more frequently if recommended in the body of this report.

RISK FACTOR

The time at which the property should next be inspected and the susceptibility generally of the property to termite attack have been determined in the following assessment. Points have been allocated for various factors that will contribute to the susceptibility of a property to future termite attack.

Note on Conducive Conditions:

Conducive conditions are those factors that increase the risk of attack by termites. These can include but are by no means limited to lack of access to underfloor voids (if present), slab on ground areas, untreated timbers in contact with soil, moist or damp conditions etc.

Determining risk factor and suggested inspection frequency

13.1 Geographical Location 3 Points - Any state or territory of Australia excluding Tasmania and Victoria.

13.2 Floor Construction Type	2 Points - Combined slab on ground and suspended floor.
13.3 Accessibility	3 Points - In general, access for inspection was considered poor.
13.4 Termite barrier system installed	2 Points - Evidence of partial compliance with the treatment requirements of AS 3660 was noted. Please note, this is a general observation only. The vendor of the property may have documentation supporting compliance with the Australian Standard. Copies of documentation should be obtained.
13.5 Termite Attack	1 Point - No evidence of termite attack was found to inspected and accessible areas at the time of inspection.
13.6 Conducive Conditions	3 Points - Evidence of more than one condition conducive to termite attack was observed - see note on conducive conditions.
13.7 Inspection Frequency	When all the points noted above are added together, the property is rated as follows: The property scored between 13 and 16 points, therefore the risk of future attack is considered HIGH and six (6) monthly to twelve (12) monthly inspections are recommended.

Important Note: Where evidence of active termites attacking the building or grounds were found, then an inspection is recommended within three (3) months of the appropriate treatment being completed.

IMPORTANT INFORMATION

14.1 PLEASE NOTE: The following information is very important and forms an integral part of this report.

In relying upon this report you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pest attack. This information forms an integral part of the report.

1.0 DEFINITIONS

For the purpose of this inspection, the definitions below apply.

1.1 Active - The presence of live timber pests at the time of inspection.

1.2 Inactive - The absence of live timber pests at the time of inspection.

Note: Where visual evidence of inactive termite workings and/or damage is located, it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without the benefit of further investigation and inspections over a period of time, to ascertain whether any infestation is active or inactive. Continued, regular inspections are essential.

1.3 Minor - Damage that is surface damage only and does not appear to require any timber replacement or repairs to be carried out.

1.4 Moderate - Damage that is more than surface damage but is unlikely to necessitate any timber replacement or repairs to be carried out.

1.5 Severe - Damage that appears to be significant and the integrity or serviceability of timbers may be impaired. A builder's opinion must be sought in the case of severe damage.

1.6 Timber Damage - Where this report includes comments in relation to the severity of timber damage, it must be understood that this is not a qualified builder's opinion. It is essential that any timber damage be referred to a suitably qualified building professional and obtain a special purpose building report relating to the extent of the timber

damage. The full extent of damage may only be revealed by invasive inspection methods including probing and the removal of lining materials. This type of invasive inspection has not been carried out and you should understand that the extent and/or severity of timber damage may be found to increase significantly on such an invasive inspection. The references contained within this report that may refer to the extent of timber damage have only been included to assist in determining treatment specifications and not to quantify the damage and must not be relied upon to determine the costs of repair or replacement.

2.0 REASONABLE ACCESS

Only areas to which reasonable access is available were inspected. The Australian Standard 4349.3 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods. Access will not be available where there are safety concerns.

Roof Interior

The dimensions of the access hole must be at least 500mm x 400mm, and, reachable by a 3.6M ladder, and, there is at least 600mm x 600mm of space to crawl.

Subfloor

Access hole = 500 x 400mm - Crawl space (timber floor) = 400mm to bearer, joist or other obstruction, (concrete floor) = 500mm.

Roof Exterior

Must be accessible from a 3.6m ladder placed safely on the ground.

3.0 A MORE INVASIVE AND PHYSICAL INSPECTION IS AVAILABLE AND RECOMMENDED

This inspection was a visual inspection only. As detailed above, there are many limitations to this visual inspection. With the written permission of the owner of the premises we will perform a more invasive physical inspection that involves moving or lifting of insulation, moving stored items, furniture or foliage during the inspection. We will physically touch, tap, test and where necessary force/gouge suspected accessible timbers. We will gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days notice. Inspection time for this report will be greater than for a visual inspection. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner and must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. Price available on request.

4.0 CONCRETE SLAB HOMES (Part or full slab)

Homes constructed on concrete slabs pose special problems with respect to detecting termite attack. If the edge of the slab is concealed by garden beds, lawns, paths, pavers or any other obstructions then it is possible for termites to effect concealed entry into the property. They can then cause extensive damage to concealed framing timbers before being detected. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings or other obstructions. Only when the termites attack timbers in the roof void, which may be concealed by insulation, or some other visible timbers, can their presence be detected. Where termite damage is located in the roof it should be expected that concealed framing timbers (if present) may be extensively damaged.

With a concrete slab home (part or full) it is imperative that you expose the edge of the slab. This may involve the excavation of soil or the complete removal of garden beds, paths, pavers or other features which concealed the slab edge. It is recommended that at least 75 millimetres of the slab edge above ground level remain exposed at all times to facilitate the detection of termite entry. Weep holes must also be kept free of obstructions at all times.

5.0 EVIDENCE OF TERMITE DAMAGE

Where evidence of termite damage was noted in any structure or on the grounds of the property, you must understand that termite damage or activity may exist in concealed areas. Termites are secretive by nature and they will often temporarily desert their workings to later return. As damage or activity may exist in concealed or inaccessible areas, a further INVASIVE INSPECTION is strongly recommended, see Section 3.0 - Further Invasive Inspections. Additionally, regular inspections are strongly recommended at intervals not exceeding 12 monthly and more frequently if recommended.

6.0 SUBTERRANEAN TERMITES

No Property is safe from termites! Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forests shows 1 in every 4 homes are attacked by termites at some stage in their life. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world.

How termites attack your home! The most destructive species live in large underground nests containing several hundred thousand timber-destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single termite colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres or more to enter your home. Concrete slabs do not act as a barrier as termites can penetrate cracks through the slab or over the slab edge.

Termite Damage! Once in contact with the timber they can excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and can be costly to treat.

7.0 BORERS OF DRY SEASONED TIMBERS

Borers are the larval stage of various species of beetle. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae that bore through the timber. The larvae may reside totally concealed within the timber for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle that cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes that their presence can be detected.

Anobium punctatum borer (furniture beetle). Commonly attack softwood flooring timbers, shelving timbers and timber panelling. They have the potential to cause severe timber damage if left untreated for many years. Attack by this beetle is usually observed in timbers that have been in service for 10 to 20 years or more.

Lyctus brunneus borer (powderpost beetle). These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that the structural timbers contain no more than 25% Lyctus susceptible sapwood, these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved or required.

END TIMBER PEST INSPECTION REPORT.